



PALM BEACH COUNTY ZONING APPLICATION STAFF REPORT

ZONING COMMISSION PUBLIC HEARING, MAY 1, 2025

A. Application Summary

I. General

Application Name: Public Storage, DOA-2024-01284
Control Name: Boca Rio Center MUPD (1984-00030)
Applicant: Public Storage, Inc
Owner: Public Storage, Inc
Agent: Dunay, Miskel and Backman, LLP - Beth Schrantz and Ele Zachariades
Project Manager: Imene Haddad, Sr Site Planner and Wendy Hernandez, Deputy Zoning Director

Title: a Development Order Amendment **Request:** to reconfigure the overall Site Plan and to add square footage and modify uses on 8.37 acres

Application Summary: The application is for the Boca Rio Center Multiple Use Planned Development (MUPD). The site was originally approved by the Board of County Commissioners (BCC) on March 29, 1984, for a rezoning from the Agricultural Residential (AR) Zoning District to a Planned Industrial Development (PID). The site was last approved by the BCC on March 30, 2017, to reconfigure the Site Plan, add square footage, and delete Conditions of Approval.

The request proposes to amend the overall Site Plan to construct a new 76,962 square-foot (sq. ft.), Limited Access Self-Service Storage building.

The Preliminary Site Plan (PSP) indicates fifteen buildings totaling 364,558 sq. ft. and 43 parking spaces. Access to the site is from Boca Rio Road.

II. Site Data

Acres: 8.37 acres
Location: West Side of Boca Rio Road between 210th Street and Via Ancho
Parcel Control: 00-42-43-27-05-079-0010
Future Land Use: Industrial (IND)
Zoning District: Light Industrial District (IL)
Tier: Urban/Suburban
Utility Service: Palm Beach County Water Utilities
Overlay/Study: N/A
Neighborhood Plan: N/A
CCRT Area: N/A
Comm. District: District 5, Commissioner Maria Sachs

III. Staff Assessment & Recommendation

ASSESSMENT: Staff has evaluated the standards listed under Article 2.B., and determined that the requests meet the standards of the ULDC subject to Conditions of Approval as indicated in Exhibit C.

STAFF RECOMMENDATION: Staff recommends approval of the request, subject to the Conditions of Approval as indicated in Exhibit C.

PUBLIC COMMENT SUMMARY: At the time of publication, Staff had received no contacts from the public regarding this application.

IV. Hearing History

ZONING COMMISSION: *Scheduled for May 1, 2025*

BCC HEARING: *Scheduled May 22, 2025*

B. Data & Analysis

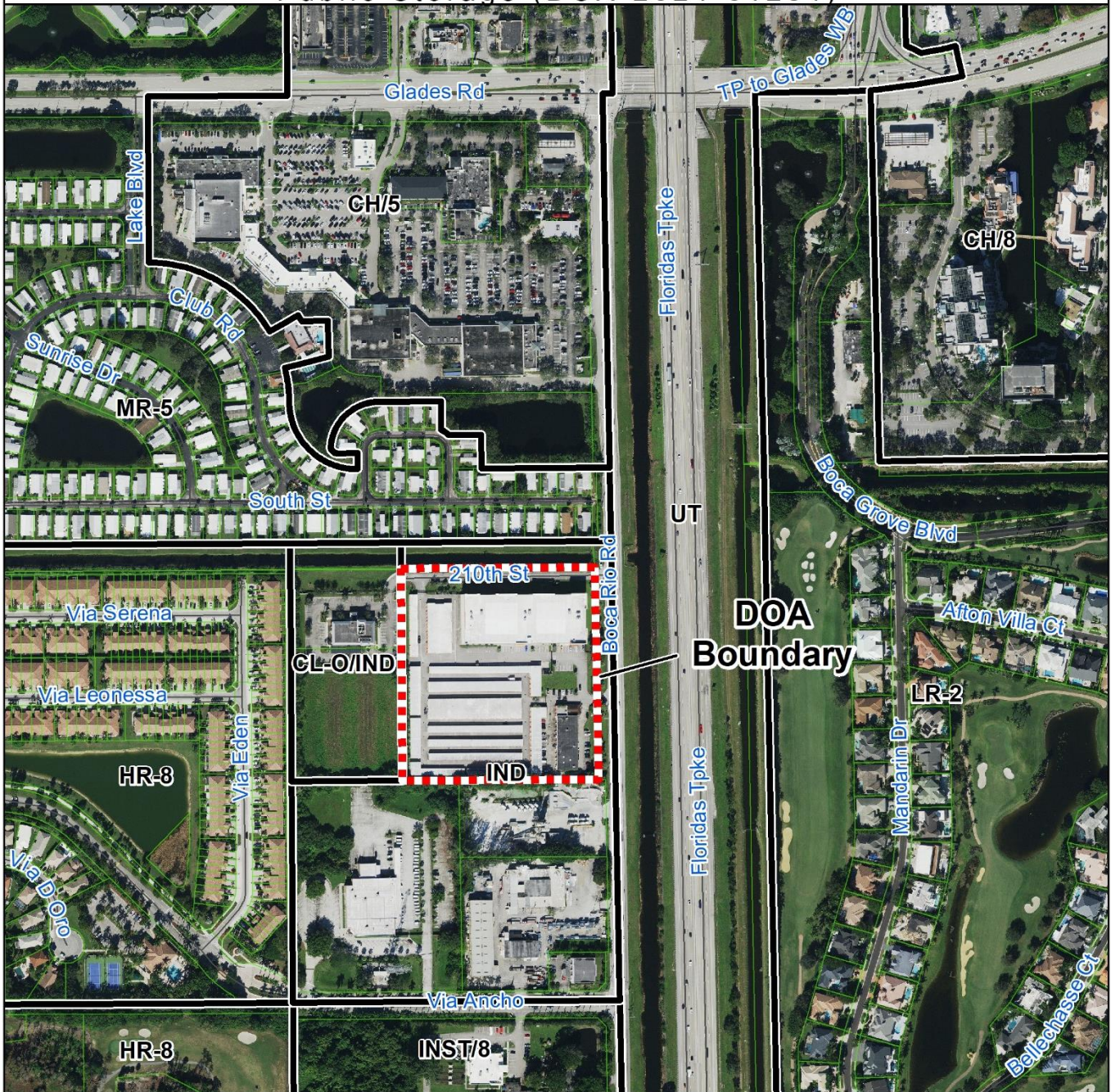
The supporting data and analysis is provided within the following Exhibits.

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Exhibit A-1 - Future Land Use Map

Z o n i n g A p p l i c a t i o n

Public Storage (DOA-2024-01284)



Site Data

Size: 8.36 acres
 Existing Use: Commercial Self Storage
 Proposed Use: Commercial Self Storage
 Zoning: IL
 Zoning Quad: 54

Future Land Use Designations

LR-2	Low Residential, 2 units/acre	CH/8	Commercial High, underlying HR-8
MR-5	Medium Residential, 5 units/acre	IND	Industrial
HR-8	High Residential, 8 units/acre	INST/8	Institutional, underlying HR-8
CL-O/IND	Commercial Low Office, underlying IND	UT	Utilities and Transportation
CH/5	Commercial High, underlying MR-5		

Date: 2/10/2025
 Contact: PBC Zoning
 Filename: X:\PlanningZoningCoord\DRO-Maps\2025\2024-01284
 Note: Map is not official, for presentation purposes only.



Planning, Zoning & Building
 2300 N. Jog Rd, WPB, FL 33411
 Phone (561) 233-5300



Exhibit A-2 - Zoning Map

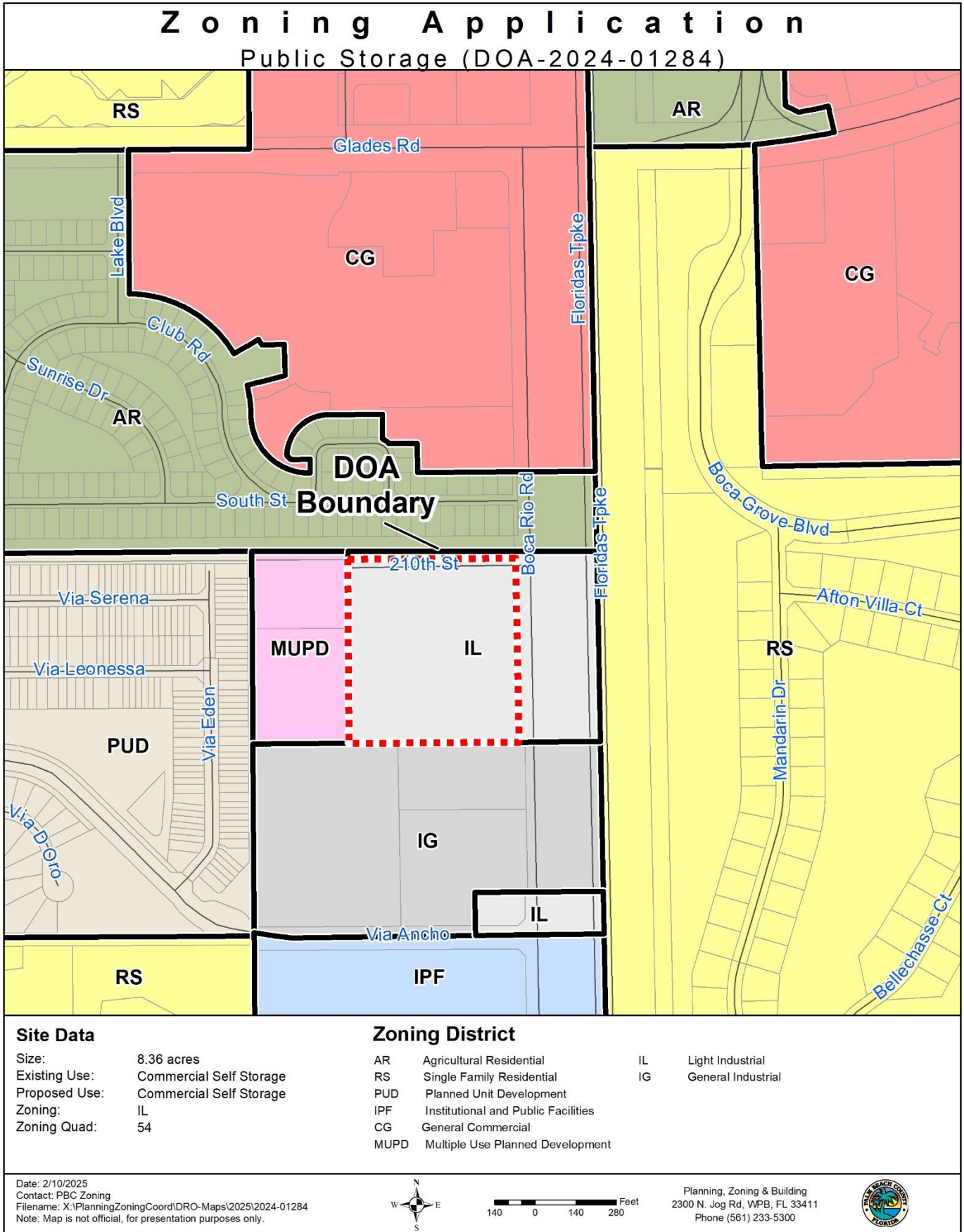


Exhibit B - Standards Analysis & Findings

FINDINGS:

Conditional Uses, Official Zoning Map Amendment to a PDD or TDD and Development Order Amendment:

Article 2.B.7.B, Standards for Rezoning to a PDD or a TDD, a Conditional Use, or a Development Order Amendment are indicated below with Staff Analysis. A request that fails to meet any of these Standards shall be deemed adverse to the public interest and shall not be approved by the Commission.

a. Consistency with the Plan - *The proposed use or amendment is consistent with the purposes, goals, objectives and policies of the Plan, including standards for building and structural intensities and densities, and intensities of use.*

○ *Consistency with the Comprehensive Plan:* The proposed use or amendment is consistent with the Goals, Objectives and Policies of the Comprehensive Plan, including previous Land Use Amendments, densities and intensities of use.

○ *Consistency of Future Land Use designation with Zoning District (Non-Residential):* Per Future Land Use Element Table 2.2-f.1: Non-Residential Future Land Use-Zoning Consistency, the existing future land use designation of Industrial (IND) is consistent with the existing Light Industrial (IL) Zoning District.

○ *Intensity:* The maximum Floor Area Ratio (FAR) of 0.85 is allowed for an Industrial project with a IND FLU designation in the Urban/Suburban Tier (8.37aac or 364,560 surveyed sq. ft. x 0.85 maximum FAR = 309,876 sq. ft. maximum). The request for a total of 307,047 sq. ft. equates to a FAR of approximately 0.84 (307,047/364,560 surveyed sq. ft. or 8.37 acres = 0.842)

○ *Special Overlay District/ Neighborhood Plan/Planning Study Area:* The site is not located within any neighborhood plans, overlays or plan study areas as identified in the Comprehensive Plan.

b. Consistency with the Code - *The proposed amendment is not in conflict with any portion of this Code, and is consistent with the stated purpose and intent of this Code.*

○ *Request:* The proposed amendment is to develop a three-story 75,225 sq. ft. Limited and multi-access Self Service Storage building within the Public Storage Boca Rio Development. The development was originally approved in 1984 as Special Exception Planned Industrial Development with Warehouse, Self-Storage, and an Office through Resolution R-1984-01107. The proposed amendment is not in conflict with any portion of the current Code, and is consistent with stated purpose and intent of the Code.

The request for a DOA to the Public Storage at Boca Rio Road is consistent with the Code. Any existing or proposed issues with regard to use, layout, function, or general development characteristics, have been addressed through Conditions of Approval. The Applicant proposes to demolish 11,654 sq.ft. Auto Repair building and a portion of the Multi-Access Self Storage building E-2 to construct a 75,225 Limited Access Self Storage building.

○ *Art 4 Use Restrictions- Self Service Storage:* Self-Service storage consist of individual, self-contained units that are leased for the storage of a business, household, or other personal goods with limited access points from the exterior of the building to interior halls that serve individual storage units. The proposed use is subject to the use regulations as indicated under Art. 4. B.2.35., Self-Service Storage. The request to allow the development of the three-story Limited Access Self Storage within the existing Self Storage facility previously approved in 1984. The request within the affected area complies with the code for use, layout and function. The Preliminary Site Plan indicates 12 Multi-Access Self Storage and 2 Limited Access Self-Storage buildings including the proposed building.

○ *Property Development Regulations:* The site has a previous approval for a Special Exception for a PID, which under current code is required to comply with the applicable requirement for the Limited Industrial (IL) zoning district standard. The proposed amendment complies with the required PDR's for the IL Zoning District as indicated in Table 3.E.2.D.

○ *Landscaping and buffering:* The Preliminary Site Plan indicates a 20-foot Right-of-Way buffer along Boca Rio Road. To the south of the proposed building, an existing compatibly buffer with varying widths with a minimum of 14 ft. along the western portion, to 0 ft. along the eastern portion. The buffer is being upgraded to an 8 ft. compatibility buffer to meet the current ULDC standards. The Applicant is not proposing any modification to the landscape buffers to the north and west.

○ *Signage:* The Applicant has submitted a Preliminary Master Sign Plan (Exhibit E-2) that meets the requirements of Article 8. All proposed signage are consistent with Art. 8, Signage, as well as Technical Manual Requirements outlined in Title 5, Signage.

- *Architectural Review:* The preliminary architectural elevations submitted by the Applicant are in compliance with Art.5.C. Design Standards. The Architectural elevations and Visual Impact Analysis can be found in Exhibits E-3 and E-4.
 - *Parking and Loading:* Per Article 6 Table 6.B.1.B one parking space per 200 bay of Self-Service with a minimum of 5 spaces, is required. Preliminary Site Plan (PSP) indicates 19 parking spaces per code requirement. In addition, the PSP indicates a four loading spaces as required.
- c. Compatibility with Surrounding Uses - *The proposed use or amendment is compatible and generally consistent with the uses and character of the land surrounding and in the vicinity of the land proposed for development.***

The proposed request is an amendment to a previously approved MUPD to reconfigure the site by deleting and adding square footage. As mentioned before, there is an existing Self Storage Facility on site and the proposed addition of square footage would just serve as an expansion of the use. The existing Auto Repair building will be demolished. The adjacent properties to the south and west have similar Industrial land use designations, to the east lies the Florida's Turnpike all compatible with the proposed development, to the north lies a residential community separated by approximately 80 feet of canal and open space. It should be noted that the residential community also has a mature landscape buffer along the southern boundary line of the property.

- d. Design Minimizes Adverse Impact – *The design of the proposed use minimizes adverse effects, including visual impact and intensity of the proposed use on adjacent lands.***

The placement and design of the proposed building is generally consistent with the placement of the existing structures along Boca Rio Road. The proposed development is not visible from any existing residential development and will be screened from Boca Rio Road R-O-W with landscape buffer material required by the ULDC. The reconfiguration of the site therefore minimizes adverse effects, including visual impact and intensity of the proposed use on adjacent lands.

- e. Design Minimizes Environmental Impact – *The proposed use and design minimizes environmental impacts, including, but not limited to, water, air, stormwater management, wildlife, vegetation, wetlands and the natural functioning of the environment.***

- *Vegetation Protection:* The site has been previously developed. The site contains non-native invasive species (i.e. Earleaf Acacia) as well as native species (i.e. Mahogany, Live Oak, Crape Myrtle, and Sabal Palms). Most of the vegetation will be preserved on site. Native vegetation that cannot be preserved in place are being either relocated or mitigated.

- *Wellfield Protection Zone:* This property is not located within Wellfield Protection Zone.

- *Irrigation Conservation Concerns and Surface Water:* All new installations of automatic irrigation systems shall be equipped with a water sensing device that will automatically discontinue irrigation during periods of rainfall pursuant to the Palm Beach County Mandatory Year-Round Landscape Irrigation Conservation Measures Ordinance, Ordinance No. 2022-007. Any non stormwater discharge or the maintenance or use of a connection that results in a non stormwater discharge to the stormwater system is prohibited pursuant to Palm Beach County Stormwater Pollution Prevention Ordinance No. 93-15.

- *Environmental Impacts:* There are no significant environmental issues associated with this petition beyond compliance with ULDC requirements.

- f. Development Patterns – *The proposed amendment will result in a logical, orderly, and timely development pattern.***

The proposed development is an expansion of an existing Self Service Storage facility. The proposed modification will demolish an existing Repair and Maintenance building, and replace it with the new 3 story Limited Access Storage. The proposed development is not visible from any existing residential development and will be screened from the Boca Rio Road R-O-W with a 20-foot Wide landscape buffer. With the proposed reconfiguration of the site, the Applicant is also upgrading the landscaping along Boca Rio Road and Southern perimeter of the property. The reconfiguration of the site therefore minimizes adverse effects, including visual impact and intensity of the proposed use on adjacent lands.

- g. Adequate Public Facilities – The proposed amendment complies with Art. 2.F, Concurrency (Adequate Public Facility Standards).**

TRAFFIC:

The Department of Engineering and Public Works Traffic Division provided comments throughout the review of this application and requested modification have been incorporated by the Applicant. The site currently has an approval for a Mini Warehouse and a Tire Store. The proposed modification will include replacing the Tire Store approval with a Mini Warehouse. This modification in the development plan is expected to result in 101 fewer net daily trips, 13 fewer net AM peak trips, and 18 fewer net PM peak hour trips. Overall, the new plan is expected to generate 400 net daily trips, 25 net AM peak hour trips, and 41 net PM peak hour trips. The build out of the project is assumed to be by 2027.

Since there will be a reduction in the peak hour trips as compared to those of the already approved plan, the project continues to meet PBC Traffic Performance Standards (TPS). The access is currently existing on 210th St, which connects with Boca Rio Rd as a full median opening.

Engineering Conditions of Approval have been carried forward with an amended condition relating to the build out date and issuance of building permits.

LAND DEVELOPMENT:

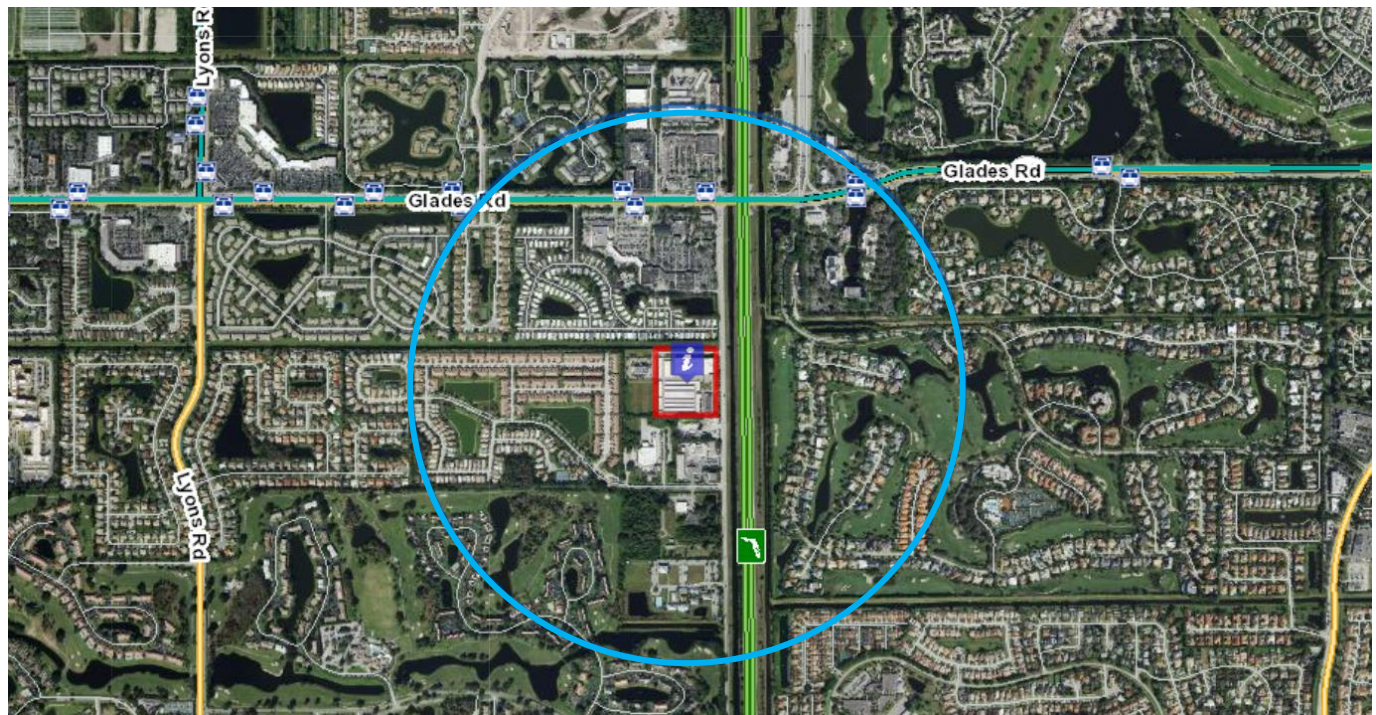
The Department of Engineering and Public Works Land Development Division provided comments throughout the review of this application and requested modification have been incorporated by the Applicant. The proposed project reduces the impervious area and therefore there will be no modifications made to the existing permitted drainage system. The property associated with the application was found to comply with the regulations and code requirements of the ULDC under the authority of the Land Development Division, subject to the following conditions of approval:

The Property Owner shall provide a temporary construction easement along the property frontage of Boca Rio Road.

Engineering Conditions of Approval have been carried forward with a new condition added relating to the requirement of a construction easement along Boca Rio Road.

MASS TRANSIT:

Palm Tran review Staff were provided this application for review and have no comments. There are six bus stops locations with ½ mile of the subject property along Glades Road. The closest route is 91 which runs east west along Glades Road North on Lyons Road.



DRAINAGE DISTRICT:

The overall development is located within the Lake Worth Drainage Districts (LWDDs) service area. The Applicant’s engineer states (Exhibit E-7), “The proposed project is located at 21000 Boca Rio in Unincorporated Palm Beach County, FL 33433. The site currently has an operating Public Storage facility and an auto shop business within the same parcel, the auto shop will be demolished to allow for the expansion proposed with this redevelopment. The site falls in FEMA flood zone X per FEMA map number 12099C1156F. The site is currently permitted under South Florida Water Management District (ERP #: 50-01430-S), Lake Worth Drainage District (ERP #17-54D.14) and Palm Beach County (Project No.: 01000-086) and these permits will be modified to reflect the proposed site improvements.” Prior to the issuance of any building permits the applicant must obtain permit approval from Palm Beach County and the District.

WATER AND WASTEWATER PROVIDER:

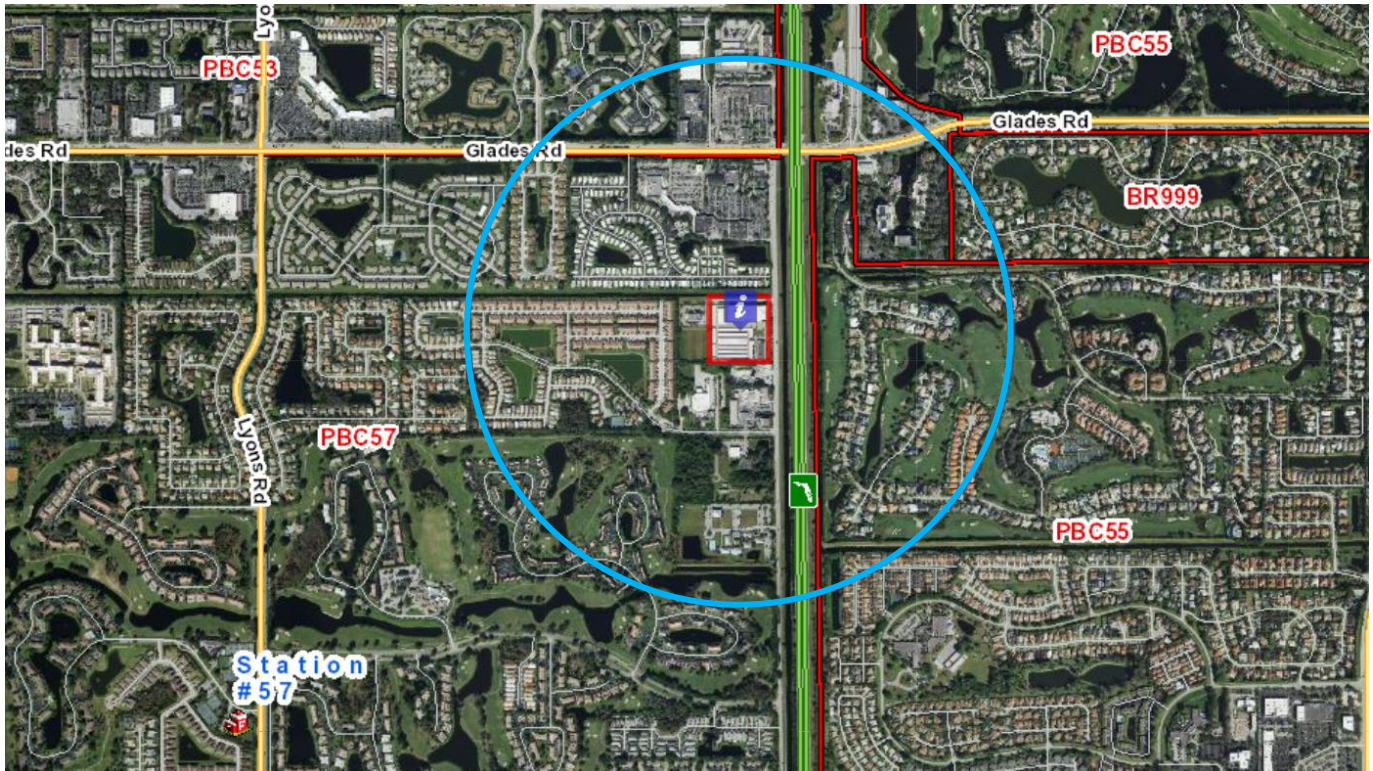
The subject site is within the water and wastewater service boundaries of the Palm Beach County Water Utilities Department (PBCWUD). PBCWUD review Staff provided comments throughout the review of this application. As stated in their letter, Exhibit E-8 , “This property is currently serviced with potable water and sanitary sewer. The nearest available connections are an 8” water main and a 12” sanitary sewer forcemain located within Boca Rio Road adjacent to the subject property.”

PALM BEACH COUNTY HEALTH DEPARTMENT:

The Health Department review Staff were provided this application for review and have no comments.

FIRE PROTECTION:

The Fire Rescue review Staff were provided this application for review and have no comments. The site is within the service boundary of Palm Beach County Fire Rescue Station #57.

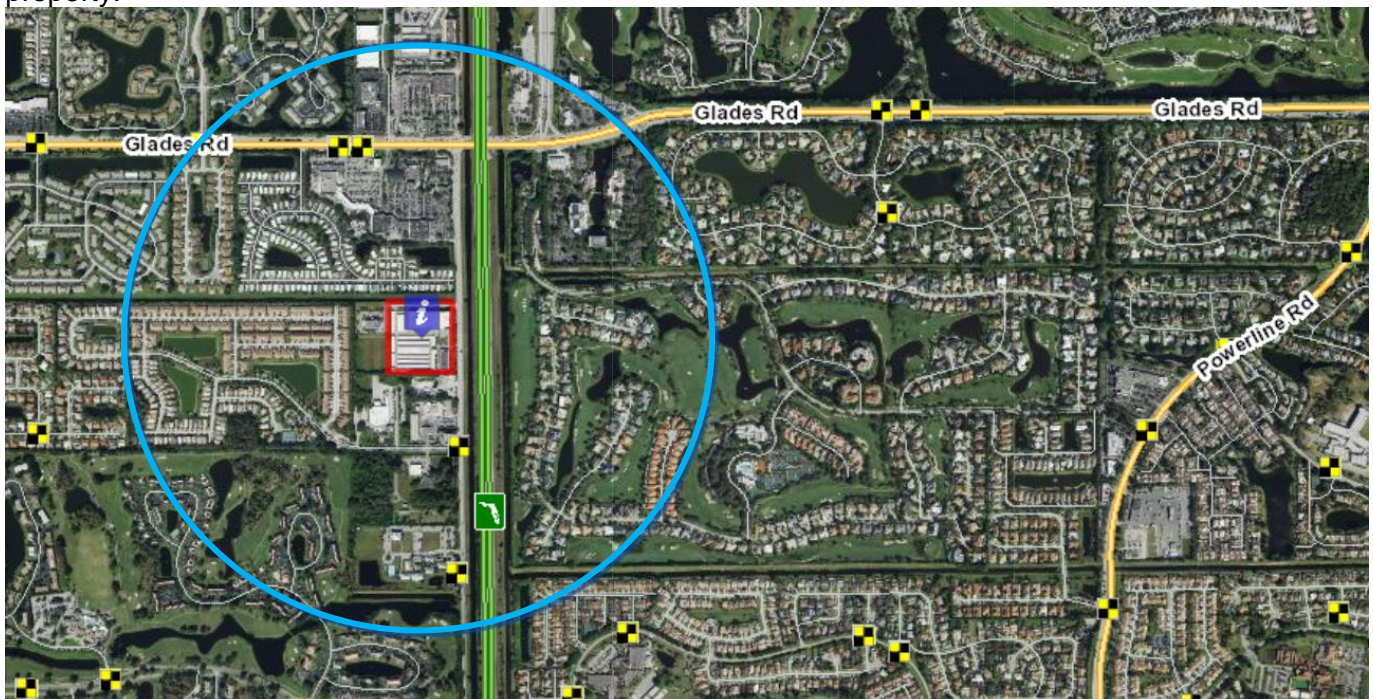


PARKS AND RECREATION:

The Parks and Recreation Department review staff have no comment regarding this application as this is a non-residential site, and the Parks and Recreation ULDC requirements do not apply.

SCHOOL DISTRICT:

The PBC School District Staff have no comments as this is a non-residential application and there is no density proposed. There are approximately four school bus stop locations within a 1/2 mile of the subject property.



- h. Changed Conditions or Circumstances** – *There are demonstrated changed site conditions or circumstances provided by the Applicant’s Justification Statement that necessitate the amendment.*

The Applicant’s Justification Statement indicates the following justification for their changed conditions of circumstances: *“As referenced above, there are changed conditions and circumstances that necessitate the Project. South Florida is experiencing an influx of new residents. Furthermore, there are many existing residents who are experiencing changes in their housing circumstances. Self-storage facilities are in heightened demand as residents need more space to store their goods, whether for the purpose of decluttering, lack of space, or for temporary storage as they relocate. As such, Boca Raton and Palm Beach County residents underline the need for more self-storage options, thus creating the need for additional facilities for the residents.”*

Exhibit C - Conditions of Approval

Development Order Amendment

ALL PETITIONS

1. Previous ALL PETITIONS Condition 1 of Resolution R-2017-363, Control No.1984-00030, which currently states:

All previous conditions of approval applicable to the subject property, as contained in Resolution R-2005-1787(Control 1984-30), have been consolidated as contained herein. The property owner shall comply with all previous conditions of approval and deadlines previously established by Article 2.E of the ULDC and the Board of County Commissioners, unless expressly modified.

Is hereby amended to read:

All previous conditions of approval applicable to the subject property, as contained in Resolution R-2017-363 (Control 1984-30), have been consolidated as contained herein. The property owner shall comply with all previous conditions of approval and deadlines previously established by Article 2.E of the ULDC and the Board of County Commissioners, unless expressly modified. (ONGOING: ZONING - Zoning)

2. Previous ALL PETITIONS Condition 2 of Resolution R-2017-363, Control No.1984-00030, which currently states:

The approved Preliminary Site, Regulating and Architectural Plans are dated January 12, 2017. Modifications to the Development Order inconsistent with the Conditions of Approval, or changes to the uses or site design beyond the authority of the Development Review Officer as established in the Unified Land Development Code, must be approved by the Board of County Commissioners or the Zoning Commission.

Is hereby amended to read:

The approved Preliminary Site, Regulating and Architectural Plans are dated January 25, 2025. Modifications to the Development Order inconsistent with the Conditions of Approval, or changes to the uses or site design beyond the authority of the Development Review Officer as established in the Unified Land Development Code, must be approved by the Board of County Commissioners or the Zoning Commission. (ONGOING: ZONING - Zoning)

3. Prior to Final approval by the Development Review Officer (DRO), the Property Owner shall revise the Site Plan to:

- a) Add a non-conformities chart to include all legal non-conformities that are outside of the affected area;
- b) Revise the total acreage in the Site Data table to match the information on the approved Survey;
- c) Revise the Site Data table to demonstrate compliance with the minimum number of required loading zones;
- d) Revise the Site Data table parking calculations to include the total number of storage units on site;
- e) Label all Perimeter Buffers in accordance to Article 7 of the Unified Land Development Code and revise the Buffer details on the Regulating Plan accordingly. (DRO: ZONING - Zoning) [Note: COMPLETED] (Previous ALL PETITIONS Condition 3 of Resolution R-2017-363, Control No.1984-00030)

ARCHITECTURAL REVIEW

1. At time of submittal for Final Approval by the Development Review Officer (DRO), the Architectural Elevations for Buildings 1 and 2 shall be submitted for approval by the Zoning Division. Architectural Elevations shall comply with the standards indicated in Article 5.C of the Unified Land Development Code (ULDC) and shall be generally consistent with the Architectural Elevations dated January 12, 2017. Development shall be consistent with the approved Architectural Elevations, the DRO approved Final Plan, all applicable Conditions of Approval, and all ULDC requirements. (DRO: ZONING - Zoning) [Note: COMPLETED] (Previous ARCHITECTURAL REVIEW Condition 1 of Resolution R-2017-363, Control No.1984-00030)

2. At time of submittal for Final Approval by the Development Review Officer (DRO), the Architectural Elevations for Buildings B shall be submitted for final approval by the Zoning Division. Architectural Elevations shall comply with the standards indicated in Article 5.C of the Unified Land Development Code (ULDC). Development shall be consistent with the approved Architectural Elevations, the DRO approved Final Plan, all applicable Conditions of Approval, and all ULDC requirements. (DRO: ZONING - Zoning)

ENGINEERING

1. Previous ENGINEERING Condition 1 of Resolution R-2017-363, Control No.1984-00030, which currently states:

In order to comply with the mandatory Traffic Performance Standards, the Property Owner shall be restricted to the following phasing schedule:

a. No Building Permits for the site may be issued after December 31, 2020. A time extension for this condition may be approved by the County Engineer based upon an approved Traffic Study which complies with Mandatory Traffic Performance Standards in place at the time of the request. This extension request shall be made pursuant to the requirements of Art. 2.E of the Unified Land Development Code. (DATE: MONITORING - Engineering)

Is hereby amended to read:

In order to comply with the mandatory Traffic Performance Standards, the Property Owner shall be restricted to the following phasing schedule:

a. No Building Permits for the site may be issued after December 31, 2027. A time extension for this condition may be approved by the County Engineer based upon an approved Traffic Study which complies with Mandatory Traffic Performance Standards in place at the time of the request. This extension request shall be made pursuant to the requirements of Art. 2.E of the Unified Land Development Code. (DATE: MONITORING - Engineering)

2. The property owner shall convey for the ultimate right of way of Boca Rio Road, 80 feet west of the west right of way line of the LWDD E-2 Canal, an additional 20 feet within 90 days of approval; conveyance must be accepted by Palm Beach County prior to issuance of first building permit. (BLDGPM: MONITORING - Engineering) [Note: COMPLETED] (Previous ENGINEERING Condition 2 of Resolution R-2017-363, Control No.1984-00030)

3. The property owner shall convey an access easement to the properties to the west prior to site plan approval. (DRO: ENGINEERING - Engineering) [Note: COMPLETED] (Previous ENGINEERING Condition 3 of Resolution R-2017-363, Control No.1984-00030)

4. The developer shall construct concurrent with a paving and drainage permit issued from the Office of the County Engineer:

4. Deleted per resolution R-2017-0363. (Previous ENGINEERING Condition 4 of Resolution R-2017-0363, Control No.1984-00030)

4. The developer shall construct concurrent with a paving and drainage permit issued from the Office of the County Engineer:

5. Deleted per resolution R-2017-0363. (Previous ENGINEERING Condition 5 of Resolution R-2017-363, Control No.1984-00030)

6. Deleted per resolution R-2017-0363. (Previous ENGINEERING Condition 6 of Resolution R-2017-363, Control No.1984-00030)

7. Deleted per resolution R-2017-0363. (Previous ENGINEERING Condition 7 of Resolution R-2017-363, Control No.1984-00030)

8. Prior to the issuance of the first building permit, the Property Owner shall configure the property into a legal lot of record in accordance with provisions of Article 11 of the Unified Land Development Code. (BLDGPM: MONITORING - Engineering) [Note: COMPLETED] (Previous ENGINEERING Condition 8 of Resolution R-2017-363, Control No.1984-00030)

9. Prior to the issuance of the first certificate of occupancy, the Property Owner shall complete construction of a guardrail along the west bank of the LWDD E-2-W Canal on Boca Rio Road across from all project driveways with egress onto Boca Rio Road, as approved by the County Engineer. (BLDGPM/CO: MONITORING - Engineering) [Note: COMPLETED] (Previous ENGINEERING Condition 9 of Resolution R-2017-363, Control No.1984-00030)

10. Property Owner shall construct a 5 foot wide concrete sidewalk along the west side of Boca Rio Road from the north property line to the south property line. Any and all costs associated with the construction shall be paid by the Property Owner. These costs shall include, but are not limited to, utility relocations and acquisition of any additional required right-of-way. These improvements shall be completed concurrently with the onsite paving and grading and shall be completed prior to the issuance of the first certificate of occupancy. (BLDGPM/CO: MONITORING - Engineering) [Note: COMPLETED] (Previous ENGINEERING Condition 10 of Resolution R-2017-363, Control No.1984-00030)

11. Within ninety (90) days notice by the County Engineer, the Property Owner shall provide a roadway construction easement to Palm Beach County along Boca Rio Road, a minimum of ten (10) feet in width, or as otherwise approved by the County Engineer. This roadway construction easement shall also contain an isosceles trapezoid connecting the Corner Clips across this Property Owner's entrance. The Property Owner shall not record these required easements or related documents. After final acceptance of the location, legal sketches and dedication documents, Palm Beach County shall record all appropriate deeds and documents. (ONGOING: MONITORING - Engineering)

ENVIRONMENTAL

1. The developer shall preserve existing significant vegetation wherever possible and shall incorporate said vegetation into the project design. Appropriate measures shall also be taken to protect these preservation areas during site clearing and construction. (ONGOING: ENVIRONMENTAL RESOURCES MANAGEMENT - Environmental Resources Management) [Note: COMPLETED] (Previous ENVIRONMENTAL Condition 1 of Resolution R-2017-363, Control No.1984-00030)

HEALTH

1. i. Property owners and operators of facilities generating industrial, hazardous or toxic waste shall not deposit or cause to be deposited any such waste into the sanitary sewer system unless adequate pretreatment facilities approved by the Florida Department of Environmental Protection, the Palm Beach County Health Department, and the agency responsible for sewage works are provided and used. (ONGOING: HEALTH DEPARTMENT - Code Enforcement) (Previous HEALTH Condition 1 of Resolution R-2017-363, Control No.1984-00030)

2. Any fuel or chemical storage tanks shall be installed with protection against leakage or spillage due to corrosion, breakage, structural failure or other means. The design and installation plans will be submitted to the Health Department for approval prior to installation. (ONGOING: HEALTH DEPARTMENT - Health Department) (Previous HEALTH Condition 2 of Resolution R-2017-363, Control No.1984-00030)

3. Any toxic or hazardous waste generated at this site shall be properly handled and disposed of in accordance with Chapter 17-30-F.A.C. (ONGOING: HEALTH DEPARTMENT - Health Department) (Previous HEALTH Condition 3 of Resolution R-2017-363, Control No.1984-00030)

ZONING - LANDSCAPING

1. Prior to October 1, 2005, the property owner shall replace all dead and missing plant materials on the entire subject property. (DATE: MONITORING - Zoning) [Note: COMPLETED] (Previous ZONING - LANDSCAPING Condition 4 of Resolution R-2017-363, Control No.1984-00030)

LAKE WORTH DRAINAGE DISTRICT

1. Previous LAKE WORTH DRAINAGE DISTRICT Condition 1 of Resolution R-2017-363, Control No.1984-00030, which currently states:

The property owner shall convey to the Lake Worth Drainage District, either by Quit Claim Deed or Drainage Easement, the north 30 feet of Tracts 1, 2, and 3 Block 73, Palm Beach Farms Plat No. 3, for the right of way for Lateral Canal No. 46. This conveyance must occur within 90 days of the project's approval. (DATE: MONITORING - Lake Worth Drainage District)

Is hereby deleted. [REASON: No longer required.]

SIGNS

1. Prior to Final Approval by the Development Review Officer (DRO), the Final Regulating Plan shall be revised to include a detail of the existing freestanding sign on Boca Rio Road in accordance to Article 8 of the ULDC. (DRO/ONGOING: ZONING - Zoning) [Note: COMPLETED] (Previous SIGNS Condition 1 of Resolution R-2017-363, Control No.1984-00030)

USE LIMITATIONS

1. No storage or placement of any materials, refuse, equipment or accumulated debris shall be permitted in the rear of the industrial development facility. (ONGOING: CODE ENF - Zoning) (Previous USE LIMITATIONS Condition 1 of Resolution R-2017-363, Control No.1984-00030)

COMPLIANCE

1. In Granting this Approval, the Board of County Commissioners relied upon the oral and written representations of the Property Owner/Applicant both on the record and as part of the application process. Deviations from or violation of these representations shall cause the Approval to be presented to the Board of County Commissioners for review under the Compliance Condition of this Approval. (ONGOING: MONITORING - Zoning)

2. Failure to comply with any of the Conditions of Approval for the subject property at any time may result in:

- a. The Issuance of a Stop Work Order; the Issuance of a Cease and Desist Order; the Denial or Revocation of a Building Permit; the Denial or Revocation of a Certificate of Occupancy; the Denial of any other Permit, License or Approval to any developer, owner, lessee, or user of the subject property; the Revocation of any other permit, license or approval from any developer, owner, lessee, or user of the subject property; the Revocation of any concurrency; and/or
- b. The Revocation of the Official Map Amendment, Conditional Use, Requested Use, Development Order Amendment, and/or any other zoning approval; and/or
- c. A requirement of the development to conform with the standards of the Unified Land Development Code at the time of the finding of non-compliance, or the addition or modification of conditions reasonably related to the failure to comply with existing Conditions of Approval; and/or
- d. Referral to Code Enforcement; and/or
- e. Imposition of entitlement density or intensity.

Staff may be directed by the Executive Director of PZ&B or the Code Enforcement Special Master to schedule a Status Report before the body which approved the Official Zoning Map Amendment, Conditional Use, Requested Use, Development Order Amendment, and/or other zoning approval, in accordance with the provisions of Section 2.E of the ULDC, in response to any flagrant violation and/or continued violation of any Condition of Approval. (ONGOING: MONITORING - Zoning)

DISCLOSURE

- 1. All applicable state or federal permits shall be obtained before commencement of the development authorized by this Development Permit.

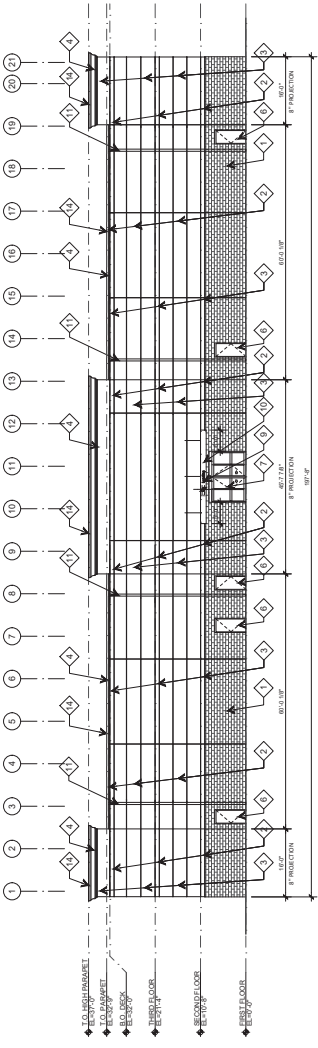
Exhibit D - Project History

Application No.	Title & Request	Resolution	Decision	Approval Date
PDD-1984-00030	Title: Official Zoning Map Amendment to a Planned Development District Request: An Official Zoning Map Amendment to allow a rezoning from Agricultural Residential (AR) Zoning District to Light Industrial (IL) Zoning District.	R-1984-01106	Approved	03/29/1984
PDD-1984-00030	Title: Official Zoning Map Amendment to a Planned Development District Request: A Special Exception to allow a Planned Industrial Development.	R-1984-01107	Approved	03/29/1984
PDD-1984-00030 (A)	Title: Official Zoning Map Amendment to a Planned Development District Request: A Special Exception to amend and expand the site plan for a Planned Industrial Development, previously approved under Zoning Petition No. 84-30, to increase the building square footage	R-1986-00102	Complete	02/11/1986
DOA-2005-00023	Title: Development Order Amendment Request: To delete land area.	R-2005-01787	Approved With Conditions	09/22/2005
DOA-2016-01437	Title: Development Order Amendment Request: to reconfigure the Site Plan, add square footage, and delete Conditions of Approval (Engineering).	R-2017-00363	Adopted With Conditions	03/23/2017

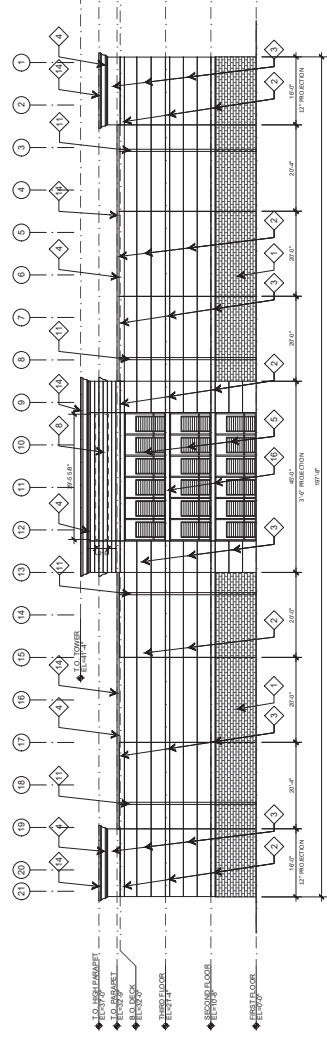
Exhibit E-1 - Preliminary Site Plan

Exhibit E-2 - Preliminary Master Sign Plan

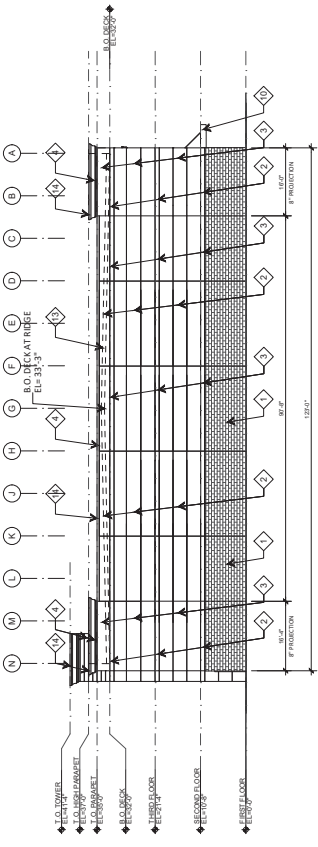
Exhibit E-3 - Preliminary Architectural Elevations



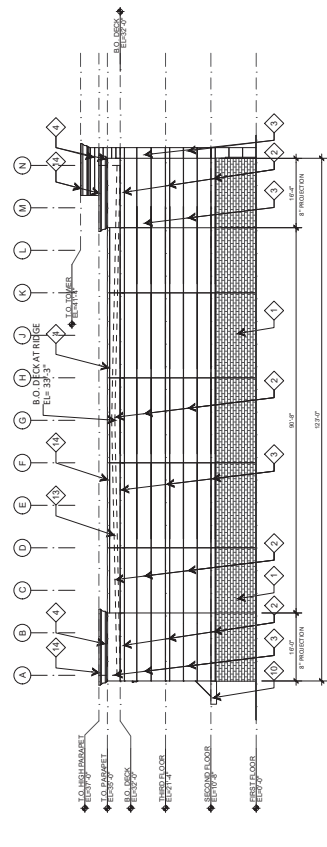
04 WEST ELEVATION
SCALE: 1/16" = 1'-0"



03 EAST ELEVATION
SCALE: 1/16" = 1'-0"



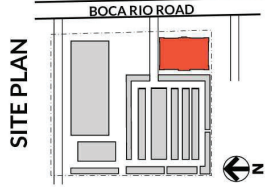
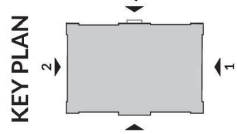
02 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



01 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

MATERIAL LEGEND/KEYNOTES

- 1 BRICK GLAZES (SAL. COLOR) TO MATCH HORIZONTAL CONCRETE
- 2 STUCCO - PPG WINTER MOOD®
- 3 STUCCO - PPG MOTH-GRAY®
- 4 STUCCO - PPG ORANGE®
- 5 1" INSULATED VISION GLASS IN CLEAR ANODIZED ALUMINUM CANOPY, PREFINISHED PPS ORANGE
- 6 1/2" INSULATED VISION GLASS IN CLEAR ANODIZED ALUMINUM CANOPY, PREFINISHED PPS ORANGE
- 7 AUTOMATIC SLIDING GLASS DOORS W/ CLEAR ANODIZED ALUMINUM CANOPY, PREFINISHED PPS ORANGE
- 8 INTERNAL LIT BUILDING SIGN BY SIGNAGE CONTRACTOR
- 9 ALUMINUM CANOPY, PREFINISHED PPS ORANGE
- 10 METAL DOWNSPUT AND SCUPPER, PREFINISHED PPS ORANGE
- 11 OVERHEAD SCUPPER
- 12 LINE OF ROOF BEYOND
- 13 METAL COPING, PREFINISHED PPS ORANGE
- 14 1" INSULATED VISION GLASS IN CLEAR ANODIZED ALUMINUM CANOPY, PREFINISHED PPS ORANGE
- 15 BRICK METAL TO MATCH STOREFRONT SYSTEM
- 16 FIRE DEPARTMENT CONNECTION
- 17 PAIR STOREFRONT DOORS W/ VISION GLASS
- 18 6" CONCRETE CURB
- 19 12" CONCRETE CURB
- 20 18" CONCRETE CURB



PBC AMENDMENTS:

PBC ZONING STAMP:

ULIC Reference	ID#	Requirement Selection	Front	Right Side	Left Side	Back
Primary Roofline pursuant to Table 5.C.1.1 - Primary Roof Design Element						
One required element per facade (2 of 4)	A	At least one parapet wall, 33% of roof line with 12" minimum, making between verticalization	Not Applicable	Not Applicable	Not Applicable	33% of roofline as indicated
One required element per facade (2 of 4)	B	Parapet roof with min. 12" overhang on one side	Not Applicable	Not Applicable	Not Applicable	Not Applicable
Secondary Roofline pursuant to Table 5.C.1.1 - Secondary Roof						
One required element per facade	A	Parapet roof with min. 12" overhang on one side	Not Applicable	Not Applicable	Not Applicable	Not Applicable
One required element per facade	B	Parapet roof with min. 12" overhang on one side	Not Applicable	Not Applicable	Not Applicable	Not Applicable
Signage - Signage Projections, Walls and Storefronts pursuant to Art. 5.C.1.4.1, 5.C.1.4.2 & 5.C.1.4.3						
All elements are required	A	Signage projections, 100% shall provide corner projection a minimum of 20% of total height of facade, minimum of 10" (Section: Projections, Appendix 1)	33% of length @ 8" min. depth	20% of length @ 8" min. depth	20% of length @ 8" min. depth	33% of length @ 12" min. depth
All elements are required	B	Signage projections, 100% shall provide corner projection a minimum of 20% of total height of facade, minimum of 10" (Section: Projections, Appendix 1)	Not Applicable to wall use	Not Applicable to wall use	Not Applicable to wall use	Not Applicable to wall use
All elements are required	C	Signage projections, 100% shall provide corner projection a minimum of 20% of total height of facade, minimum of 10" (Section: Projections, Appendix 1)	Not Applicable to wall use	Not Applicable to wall use	Not Applicable to wall use	Not Applicable to wall use
Exterior Treatment and Finishes pursuant to Table 5.C.1.1 - Primary Entry Feature Design Elements						
One additional element required	A	Signage or treatment, 60% minimum primary, 20% minimum secondary treatments	25% of length @ 12" min. depth, 4.5% of area (Min. 8' storefront)	25% of length @ 12" min. depth, 1.3% of area (Min. 8' storefront)	25% of length @ 12" min. depth, 1.3% of area (Min. 8' storefront)	25% of length @ 12" min. depth, 1.3% of area (Min. 8' storefront)
One design element required	B	Signage or treatment, 60% minimum primary, 20% minimum secondary treatments	Not Applicable	Not Applicable	Not Applicable	Not Applicable
One design element required	C	Signage or treatment, 60% minimum primary, 20% minimum secondary treatments	Not Applicable	Not Applicable	Not Applicable	Not Applicable
One design element required	D	Signage or treatment, 60% minimum primary, 20% minimum secondary treatments	Not Applicable	Not Applicable	Not Applicable	Not Applicable
One design element required	E	Signage or treatment, 60% minimum primary, 20% minimum secondary treatments	Not Applicable	Not Applicable	Not Applicable	Not Applicable
Entry Treatment pursuant to Table 5.C.1.1 - Secondary/Decorative Treatment						
One design element required	A	Overhangs, columns and awnings	9" deep canopy at building side, wall projection min. 12" deep	Not Applicable to this facade	Not Applicable to this facade	Not Applicable to this facade
One design element required	B	Overhangs, columns and awnings	Not Applicable to this facade	Not Applicable to this facade	Not Applicable to this facade	Not Applicable to this facade
One design element required	C	Overhangs, columns and awnings	Not Applicable to this facade	Not Applicable to this facade	Not Applicable to this facade	Not Applicable to this facade
One design element required	D	Overhangs, columns and awnings	Not Applicable to this facade	Not Applicable to this facade	Not Applicable to this facade	Not Applicable to this facade
One design element required	E	Overhangs, columns and awnings	Not Applicable to this facade	Not Applicable to this facade	Not Applicable to this facade	Not Applicable to this facade



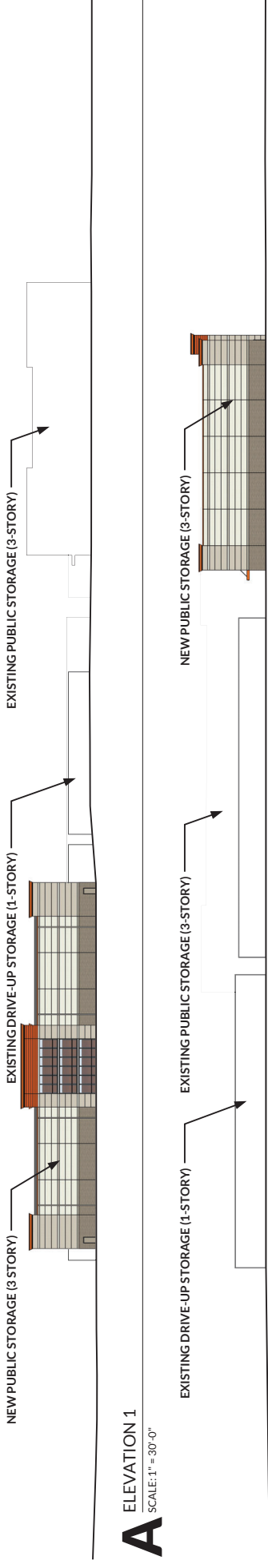
PUBLIC STORAGE - BOCA RIO
21000 BOCA RIO ROAD,
UNINCORPORATED
PALM BEACH COUNTY
BOCA RATON, FL 33433

PAE - PRELIMINARY ARCHITECTURAL ELEVATIONS
3.14.2025



1792 ROUTE STREET, SUITE 122
DALLAS, TEXAS 75201
972.788.1000 FAX 972.788.1024

Exhibit E-4 - Visual Impact Analysis



A
ELEVATION 1
SCALE: 1" = 30'-0"

B
ELEVATION 2
SCALE: 1" = 30'-0"



STREET VIEW 6



STREET VIEW 3



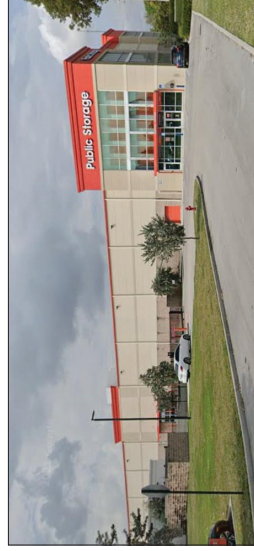
STREET VIEW 5



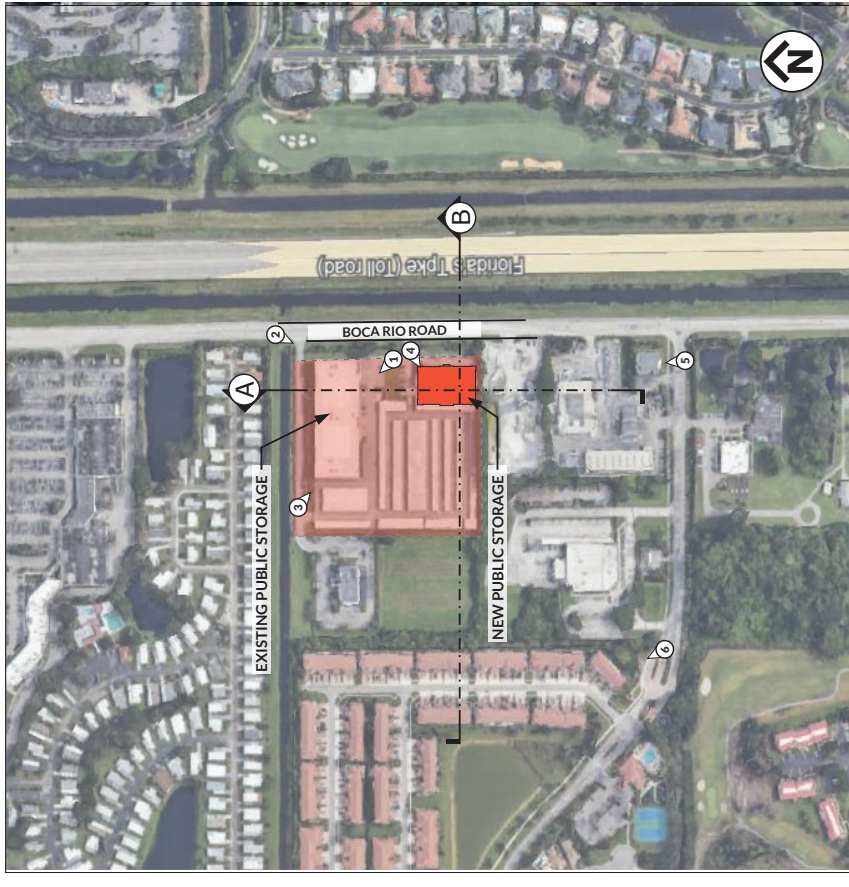
STREET VIEW 2



STREET VIEW 4 - EXISTING BUILDING ON SITE



STREET VIEW 1



SITE PLAN

ENVIRONMENTAL ASSESSMENT
THIS PROJECT IS LOCATED WITHIN THE PS BUSINESS PARKS AND EXISTING INDUSTRIAL PARK. THE PARCEL IS CURRENTLY ZONED INDUSTRIAL. THE SITE IS ADJACENT TO RESIDENTIAL OR INDUSTRIAL PROPERTIES. A SMALL CANAL SPLITS THE BUSINESS PARK ON THE NORTH FROM A RESIDENTIAL NEIGHBORHOOD AND FLORIDA'S TURNPIKE SPLITS THE PROPERTY FROM THE BOCA GROVE BUSINESS PARK. SEE CIVIL DRAWINGS FOR RETENTION INFORMATION.

PREVALENT THEME

THE SITE IS DIRECTLY ADJACENT TO AN EXISTING 3-STORY PUBLIC STORAGE BUILDING AND SEVERAL OTHER EXISTING BUILDINGS. THE BUILDINGS REMAIN. THESE BUILDINGS HAVE LIGHT COLORED STUCCO WALLS, WITH STORAGE DOORS AND FASCIAE IN PUBLIC STORAGE'S SIGNATURE "PS ORANGE" COLOR. THE 3-STORY BUILDING HAS SPLIT-FACE MASONRY ON THE FIRST LEVEL. THE SINGLE-STORY BUILDINGS HAVE LIGHT COLORED STUCCO WALLS AND ACCENT MATERIAL. THE SURROUNDING OFF-SITE BUILDINGS ARE TYPICALLY LIGHT-COLORED SMALL STUCCO BUILDINGS WITH STANDING-SEAM, CLAY TILE OR METAL CAPPED PARAPET ROOFS. THE BUILDINGS HAVE RELATIVELY SPACIOUS OPENINGS AND FINISHED OPENINGS ON COLOR CHANGE BANDING.

ARCHITECTURAL COMPLIANCE STATEMENT

THE PROPOSED BUILDING REPLICATES THE ARCHITECTURE OF THE EXISTING 3-STORY STORAGE BUILDING. IT HAS A TRIPARTITE DESIGN (CONSISTING OF A DEFINED BASE, MIDDLE AND TOP) WHICH WILL HELP TO GIVE IT A PEDESTRIAN SCALE. A DISPLAY WINDOW ON THE BOCA RIO ROAD SIDE OF THE BUILDING WILL GIVE A RETAIL FEEL TO THE BUILDING. BLANK WALLS ARE AVOIDED BY USING DECORATIVE REVEALS, BANDING AND COLOR/MATERIAL CHANGES. THE PROPOSED BUILDING WILL UTILIZE VERTICAL AND HORIZONTAL CORNER COLUMNS ON THE ROOF UP TO FORMS. THE FINISHING HERE WILL BE UP TO THE MATCH THE CURRENT PUBLIC STORAGE PROPERTY AND COMPLEMENT THE OTHER LOCAL ARCHITECTURE.



PUB-18 STORAGE BO8 A RIO
1000 BO8 A RIO ROAD
UNINCORPORATED
P.A.M BEACH 8 COUNTY
BO8 A RATION, 4. 33-433

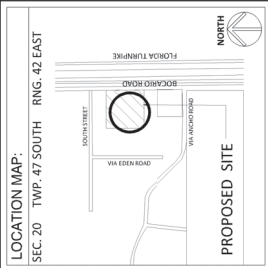
VIA 2 VISUA IMPA8 T ANA-YSIS

2.21.2025

17 ROUTH STREET, SUITE 1
DA--AS, TEXAS 75 01
17 27332010 4AX-17 273320 4



Exhibit E-5 - Previously Approved Site Plan



**PS 2100 BOCA RIO RD, BOCA RATON FL
FINAL ARCHITECTURAL SITE PLAN**



NO.	DATE	DESCRIPTION
1	06/04/2017	PRELIMINARY
2	09/15/16	PER PERMITS
3	10/11/16	PER PERMITS
4	11/17/16	PER PERMITS
5	12/22/16	PER PERMITS
6	01/27/17	PER PERMITS
7	03/23/17	PER PERMITS



FSP

NON-CONFORMITIES CHART

UDC SECTION	REQUIRED	PROVIDED	AMOUNT OF NON-CONFORMITIES	VESTING
ARTICLE 3.1.3 WEST SIDE	REAR: 20'	17'-8"	2'-4"	8/16/08/17
ARTICLE 3.1.3 SOUTH SIDE	SIDE: 15'	14'-2"	10'	8/16/08/17
ARTICLE 7.6.2.B PARKING ISLANDS	1 PER 10 SPACES	0 @ AUTO BOOT SHOP	4 REQUIRED	8/16/08/17
ARTICLE 7.7.8 COMPATIBILITY BUFFER	5'-0"	0 (NOT PROVIDED)	5'-0"	8/16/08/17
ARTICLE 7.7.7.A BUFFER	20'-0"	11'-5"	8'-7"	8/16/08/17

SITE DATA:

APPLICATION NUMBER: 2100C-2017-01010
 CONTROL NUMBER: 1984-0030
 NAME OF DEVELOPER: PUBLIC STORAGE
 USE: SELF-STORAGE/COMMERCIAL
 EXISTING ZONING: I-1/MIDP
 SECTION/TOWNSHIP/RANGE: SECTION 20, TOWNSHIP 47 SOUTH, RANGE 42 EAST
 PROPERTY CONTROLS: DD-42-43-27-05-079-000 SEPTEMBER 22, 2005
 LATEST IBC APPROVAL: SEPTEMBER 22, 2005

CONSUMING CDDY SHOP: 11,654 SF
 EXISTING SELF STORAGE: 72,579 SF
 PROPOSED SELF STORAGE: 172,491 SF
 TRAFFIC ANALYSIS ZONE: 177,874 SF
 TOTAL LOT AREA: 364,538 SQ. FT. = 8.369 AC.

GROSS FLOOR AREA: 259,724 SF
 BUILDING 1: 159,075 SF
 BUILDING 2: 10,534 SF
 BUILDING 3: 3,933 SF
 BUILDING 4: 16,593 SF
 BUILDING 5: 10,430 SF
 BUILDING 6: 3,602 SF
 BUILDING 7: 4,300 SF
 BUILDING 8: 8,206 SF
 BUILDING 9: 5,663 SF
 BUILDING 10: 5,500 SF
 BUILDING 11: 5,500 SF

ON/FLU: (0) 8,000 ACRES
 F.A.R.: 704 (MAX 280)
 BUILD HEIGHTS: 32' ROOF (85' MAX)
 TOTAL PARKING REQUIRED: 79 SPACES PROVIDED
 EXG STORAGE: 807 UNITS, 200 = 4,008 = 5 SPACES

NEW STORAGE:
 150,075 SF (90 SF (AVG UNIT SIZE)) = 1,667 UNITS
 10,483 SF = 17 UNITS
 3,933 SF = 6 UNITS
 TOTAL UNITS: 1,686 UNITS
 (SELF-SERVICE STORAGE (1) IS MINIMUM 10' CUSTOMER SPACES)
 TABLE 6.A.1.B) CUSTOMER SPACES = 15 SPACES
 (20 CUSTOMER SPACES = 15 SPACES REQUIRED)

TOTAL SELF STORAGE: 20 SPACES REQUIRED

EXISTING AUTO REPAIR: 10,534 SF = 1,120 SF = 11,654 SF
 11,654 SF @ 200 = 58.27 = 60 SPACES

TOTAL AUTO REPAIR: (1) SPACE PER 200 SF 59 SPACES REQUIRED

TOTAL SITE PARKING: (20 + 59) = 79 SPACES REQUIRED

HIC PARKING: PER TABLE 6.A.1.D
 PROVIDED: 4

TOTAL LOADING REQUIRED: 2 SPACES PROVIDED

LOADING REQUIRED: 0
 PER TABLE 6.A.1.B - NOTE 6

(ART. 4.6.1.1.A, 10.0.0.2) MINIMUM OF TWO SPACES SHALL BE PROVIDED AT EACH ENTRY INTO BUILDING

LOADING PROVIDED: 2

NOTE: ALL NON-CONFORMITIES OUTSIDE OF THE AFFECT AREA SHALL BE TESTED (ART. 3.1.3.C)

TOTAL AREA: 364,538 SQ. FT. (80.7%)
 TOTAL IMPERVIOUS COVERAGE: 294,160 SQ. FT. (19.3%)
 IN ACCORDANCE WITH RESOLUTION BA-2005-291 (19.3%)

DEVELOPMENT TEAM:

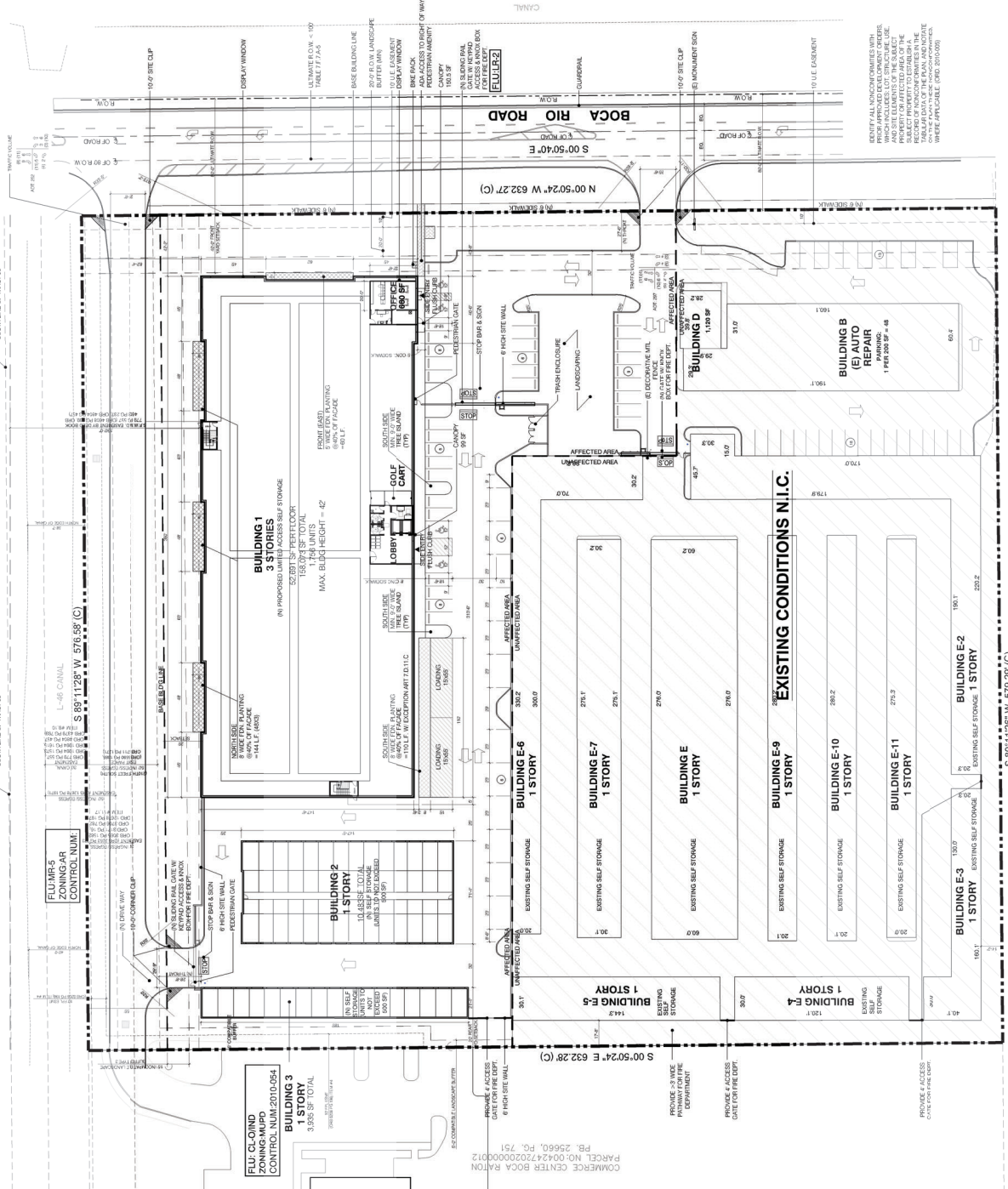
OWNER: PUBLIC STORAGE
 701 WESTERN AVE
 GLENDALE, CA 91201

ARCHITECT: TAO
 1500 GLEN AVE SUITE 100
 MOORESTOWN, NJ 08057
 (856) 778 2200

SURVEYOR: MADDOXE
 1885 NW 88TH COURT, SUITE 201
 DORAL, FL 33172
 (954) 207 6845

PROPERTY DEVELOP. REGULATIONS

ZONING DISTRICT	MINIMUM LOT DIMENSIONS	MAX. COVER	BLDG. FRONT SETBACK	BLDG. SIDE SETBACK	BLDG. REAR SETBACK
IL 1A-C	100' x 100'	35%	40'	15'	25'
IL 2A-C	100' x 100'	35%	40'	15'	25'
IL 3A-C	100' x 100'	35%	40'	15'	25'
IL 4A-C	100' x 100'	35%	40'	15'	25'



IDENTIFY ALL NON-CONFORMITIES WITH PROPERTY APPROVED DEVELOPMENT ORDERS AND SETBACKS TO THE SAME. USE PROPERTY OF AFFECTED AREA OF THE RECORD OF NON-CONFORMITIES IN THE RECORD OF AFFECTED AREA. RECORDS OF AFFECTED AREA ARE AVAILABLE FOR REVIEW AT THE TAO OFFICE. WHERE APPLICABLE. (PDG. 010.000)

24151 BOCA RIO RD
 PALM BEACH FARMS, CO
 PARCEL NO. 00424720200001050
 PB. 25535, PG. 1603

FLUJIND ZONING (INDUSTRIAL) CONTROL NUM. 00424720200001050
 PB. 25535, PG. 1603

FLUJIND ZONING (MUP) CONTROL NUM. 2010-054
 PB. 25660, PG. 751

FLUJIND ZONING (INDUSTRIAL) CONTROL NUM. 0042472020000172
 PB. 25660, PG. 751

FLUJIND ZONING (INDUSTRIAL) CONTROL NUM. 0042472020000172
 PB. 25660, PG. 751

FLUJIND ZONING (INDUSTRIAL) CONTROL NUM. 0042472020000172
 PB. 25660, PG. 751

FLUJIND ZONING (INDUSTRIAL) CONTROL NUM. 0042472020000172
 PB. 25660, PG. 751

Exhibit E-6 - Disclosure

DISCLOSURE OF OWNERSHIP INTERESTS – PROPERTY

[TO BE COMPLETED AND EXECUTED BY THE PROPERTY OWNER(S) FOR EACH APPLICATION FOR COMPREHENSIVE PLAN AMENDMENT OR DEVELOPMENT ORDER]

TO: PALM BEACH COUNTY PLANNING, ZONING AND BUILDING EXECUTIVE DIRECTOR, OR HIS OR HER OFFICIALLY DESIGNATED REPRESENTATIVE

STATE OF FLORIDA
COUNTY OF PALM BEACH

BEFORE ME, the undersigned authority, this day personally appeared Jarrold Yates, hereinafter referred to as "Affiant," who being by me first duly sworn, under oath, deposes and states as follows:

1. Affiant is the [] individual or [x] Regional Vice President *[position - e.g., president, partner, trustee] of* Public Storage, Inc. *[name and type of entity - e.g., ABC Corporation, XYZ Limited Partnership]* that holds an ownership interest in real property legally described on the attached Exhibit "A" (the "Property"). The Property is the subject of an application for Comprehensive Plan amendment or Development Order approval with Palm Beach County.

1 EK5N5A Public Storage Operating Company,

2. Affiant's address is: 701 WESTERN AVENUE
GLENDALE, CA 91201

3. Attached hereto as Exhibit "B" is a complete listing of the names and addresses of every person or entity having a five percent or greater interest in the Property. Disclosure does not apply to an individual's or entity's interest in any entity registered with the Federal Securities Exchange Commission or registered pursuant to Chapter 517, Florida Statutes, whose interest is for sale to the general public.

4. Affiant acknowledges that this Affidavit is given to comply with Palm Beach County policy, and will be relied upon by Palm Beach County in its review of application for Comprehensive Plan amendment or Development Order approval affecting the Property. Affiant further acknowledges that he or she is authorized to execute this Disclosure of Ownership Interests on behalf of any and all individuals or entities holding a five percent or greater interest in the Property.

5. Affiant further acknowledges that he or she shall by affidavit amend this disclosure to reflect any changes to ownership interests in the Property that may occur before the date of final public hearing on the application for Comprehensive Plan amendment or Development Order approval.

6. Affiant further states that Affiant is familiar with the nature of an oath and with the penalties provided by the laws of the State of Florida for falsely swearing to statements under oath.

7. Under penalty of perjury, Affiant declares that Affiant has examined this Affidavit and to the best of Affiant's knowledge and belief, it is true, correct, and complete.

FURTHER AFFIANT SAYETH NAUGHT.

Jarrod Yates, Affiant
(Print Affiant Name)

NOTARY PUBLIC INFORMATION:

STATE OF FLORIDA *TX* TEXAS
COUNTY OF PALM BEACH *COLLIN*

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 20 day of AUGUST, 2024 by JARROD YATES (name of person acknowledging). He/she is personally known to me or has produced TXDL (type of identification) as identification and did did not take an oath (circle correct response).

JAY FRANKLIN
(Name - type, stamp or print clearly)

Jay Franklin
(Signature)

My Commission Expires on: 6-6-2027

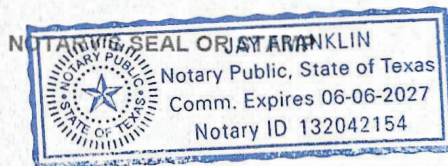


EXHIBIT "A"

PROPERTY

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF PALM BEACH, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

A TRACT OF LAND LYING IN SECTION 20, TOWNSHIP 47 SOUTH, RANGE 42 EAST, BEING IN PALM BEACH COUNTY, FLORIDA, AND BEING DESCRIBED AS FOLLOWS:

TRACT 2 AND THAT PORTION OF TRACT 1 IN BLOCK 79, LYING 20 FEET WEST OF THE RIGHT-OF-WAY OF SHELL PIT ROAD, LESS THE NORTH 27.14 FEET OF SAID TRACTS 1 AND 2, ALL BEING A PORTION OF PALM BEACH FARMS CO. SUBDIVISION PLAT NO. 3, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGES 45 THROUGH 54, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

EXHIBIT "B"

DISCLOSURE OF OWNERSHIP INTERESTS - PROPERTY

Affiant must identify all entities and individuals owning five percent or more ownership interest in the Property. Affiant must identify individual owners. For example, if Affiant is an officer of a corporation or partnership that is wholly or partially owned by another entity, such as a corporation, Affiant must identify the other entity, its address, and the individual owners of the other entity. Disclosure does not apply to an individual's or entity's interest in any entity registered with the Federal Securities Exchange Commission or registered pursuant to Chapter 517, Florida Statutes, whose interest is for sale to the general public.

Name

Address

Public Storage is an entity that is publicly traded XAs such Adisclosure does not apply X

Exhibit E-7 - Drainage Statement



1900 NW Corporate Boulevard, Suite 101E
Boca Raton, FL 33431
561.571.0280

Drainage Statement

November 21, 2024

Subject: Public Storage – Boca Rio
21000 Boca Rio Rd,
Boca Raton, FL 33433

Project Area: ± 8.45 Ac.

The proposed project is located at 21000 Boca Rio in Unincorporated Palm Beach County, FL 33433. The site currently has an operating Public Storage facility and an auto shop business within the same parcel, the auto shop will be demolished to allow for the expansion proposed with this redevelopment. The site falls in FEMA flood zone X per FEMA map number 12099C1156F. The site is currently permitted under South Florida Water Management District (ERP #: 50-01430-S), Lake Worth Drainage District (ERP #17-54D.14) and Palm Beach County (Project No.: 01000-086) and these permits will be modified to reflect the proposed site improvements.

The site is situated within the Hillsboro Canal basin, as indicated by the latest Palm Beach County drainage basin map. Access to the site is via a county-owned road; therefore, permits must be obtained from the Palm Beach County Building Division for drainage review and the Right of Way Department to ensure compliance with county regulations. The Florida Department of Environmental Protection will also review the project to ensure that no environmental issues arise from the redevelopment. Additionally, a National Pollutant Discharge Elimination System Notice of Intent will be filed to demonstrate that erosion control measures are in place during construction within the limits of disturbance and surrounding areas as deemed necessary.

The existing parcel has its own independent stormwater treatment system. Per the Environmental Resource Permit from SFWMD and LWDD, the existing exfiltration drainage pipes were designed to provide recovery of water quality for the storm system. Currently, the legal positive outfall is directed north of the site into the adjacent canal owned by LWDD. Most of the rainfall volume is retained on site and the redevelopment is not intending to alter the existing outfall and the intention is also to continue treating runoff on site. Additionally, the redevelopment will reduce the overall on-site impervious area by +/- 0.29 acres.

Preliminary review indicates that the overall site will comply with all permitting requirements. During the final permitting process construction plans and drainage calculations for the proposed improvements will be submitted to the appropriate governmental agencies.

Robert Morgado, P.E.
Bohler Engineering
1900 NW Corporate Boulevard, Suite 101E
Boca Raton, FL 33431
FL. Business Certification of Authorization No. 30780

This item has been digitally signed and sealed by Robert Eric Morgado APE on the date adjacent to the seal X
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies X

Exhibit E-8 - Utility Letter



**Water Utilities Department
Engineering**

8100 Forest Hill Blvd.
West Palm Beach, FL 33413
(561) 493-6000
Fax: (561) 493-6085
www.pbcwater.com



**Palm Beach County
Board of County
Commissioners**

Maria Sachs, Mayor
Maria G. Marino, Vice Mayor

Gregg K. Weiss
Michael A. Barnett
Marci Woodward
Sara Baxter
Mack Bernard

County Administrator

Verdenia C. Baker

*"An Equal Opportunity
Affirmative Action Employer"*

printed on sustainable
and recycled paper

August 15, 2024

Bohler Engineering
1900 NW Corporate Boulevard, Suite 101E
Boca Raton, Florida 33431

RE: 21000 Boca Rio Rd
PCN 00-42-43-27-05-079-0010
Service Availability Letter

Dear Yago,

This is to confirm that the referenced property is located within Palm Beach County Utility Department (PBCWUD) utility service area.

This property is currently serviced with potable water and sanitary sewer.

The nearest available connections are an 8" watermain and a 12" sanitary sewer forcemain located within Boca Rio Rd. adjacent to the subject property.

If you have any questions, please give me a call at (561)493-6116.

Sincerely,

A handwritten signature in blue ink, appearing to read "Jackie Michels".

Jackie Michels, P.E.,
Project Manager

THIS PAGE LEFT BLANK INTENTIONALLY